

# NASEBY

## Village Design Statement

CONSULTATION  
DRAFT

**September 2007**

*Information and  
guidance for residents,  
planners and  
developers*

Written and produced  
by the people of  
Naseby Parish

**This document is to  
be adopted by  
Daventry District  
Council as  
Supplementary  
Planning Document**





# NASEBY

## Village Design Statement

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A horizontal banner image showing a village scene with a wooden notice board, a stone wall, and a white building in the background. The word "NASEBY" is overlaid in large, white, bold, sans-serif capital letters.

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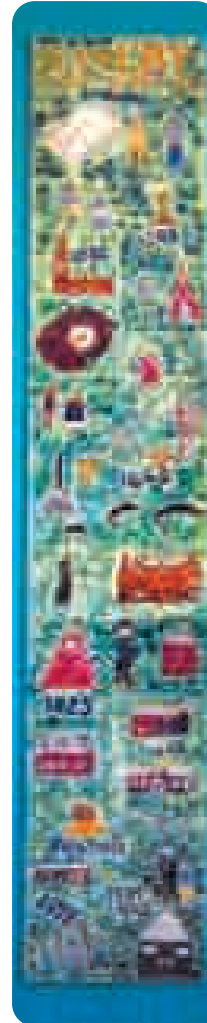
# Naseby Village Design Statement

## 1. THE NEED FOR A VILLAGE DESIGN STATEMENT

**Natural England (formerly 'The Countryside Agency') has long supported the rich and varied nature of the countryside and the rural settlements. Natural England strongly believes that this richness and variety forms an important part of the beauty and distinctiveness of the English countryside and heritage.**

**In more recent years Natural England has become more concerned about the threat to this variety from standardisation and poor design. In answer to this threat, one of the ways that has been proposed, tested and now launched on a national scale is the 'Village Design Statement (VDS)'.**

*Commemorative wall plaque hung in Naseby Village Hall created by the children of Naseby School which highlights the village's historic past and it's key features*



Development has to proceed. Much of what we see today is very different from the shape, form and purpose of the original settlement. However, there is much about our village that we wish to retain. Future change needs to be managed to protect local distinctiveness.

The VDS will assist in the management of change and ensure that planning decisions for new development is both sustainable and appropriate to its surroundings and in keeping with local character.

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## 2. THE PURPOSE

The VDS aims to describe the distinctive character of this historic village as it is today, and highlight the qualities that are valued by the villagers. It was researched, prepared and written by villagers. This has ensured that local knowledge; views and ideas were contributed to and incorporated in the VDS.

The VDS is to be used as a planning tool by being adopted as a Supplementary Planning Document.

This VDS contains descriptions of the visual characteristics of the village in terms of:-

- *The countryside and landscape setting*
- *The form of the village as a whole*
- *The unique character of the village*



**Panoramic view from Thornby Road which highlights Naseby's setting in the rolling Northamptonshire uplands**

The Statement is intended to apply to all scales and types of development ranging from new build to small-scale alterations and extensions as well as highways, traffic and other environmental/sustainability matters.

The document contains two different sections: "Planning Guidelines" which will have planning status; and "Village Preferences" which will not have planning status, but aim to highlight issues raised by the community during the preparation of this document. These provide suggestions that fall outside of the role of the VDS as a Supplementary Planning Document.

- *The characteristics and details of the buildings and spaces within the village*

The Statement also:-

- *Ensures that development is sustainable and has a positive effect on environmental, social, and economic issues*
- *Provides specific guidance to inform and influence the decisions of planners, designers and developers and builders.*
- *Aligns fully with local planning policies.*

## 4. THE PROCESS

Prior to commencing the Statement a Parish Plan had been produced. This was signed off by the Parish Council in July 2004 and then circulated widely to interested parties.

It involved a dedicated team of volunteers to actively seek the views of all parishioners which was done through questionnaires (distributed to every household in the parish), regular feedback and consultation. The questionnaire invited people of every age to express their views on all aspects of

## 3. THE STATEMENT IS AIMED AT:-

- *Statutory Bodies and Public Authorities*
- *Planners, Developers and Builders*
- *Architects and Engineers*
- *Local Community Groups*
- *Village Residents*
- *Local Businesses*

A banner image showing a village scene with buildings and trees, overlaid with the title 'Naseby Village Design Statement' in white text.

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village life and how it could be improved.

A Future Needs Day was also held which was attended by over 100 villagers (i.e. circa 25% of the village) representing a good cross section of the village and age groups.

From this consultation it became clear that action was needed to address the villagers' concerns regarding inappropriate development.

Therefore, at a Parish Council Meeting, volunteers were asked to form a steering group to commence work on a Village Design Statement for Naseby.

Following the display, on the village notice board, of the minutes and a specific poster advising the villagers of the proposal, a group of interested parishioners (both villagers and Parish Councillors) was formed; their terms of reference being to produce the VDS.

The extensive and detailed consultation outcome from the Parish Plan exercise has assisted the production of the Statement.

A Scoping Report (SR) and Sustainability Appraisal (SA), in line with current Government requirements for "development to meet the needs of the present without compromising the ability of future generations to meet their own needs" (*World Commission on Environment and Development - 1987, Our Common Future - 1987*), has been undertaken prior to the completion of this VDS.

With guidance from Daventry District Council the SR has been circulated to the three SEA Consultation Bodies (Natural England, English Heritage and The Environment Agency) and their comments and recommendations incorporated in the SA and VDS. The SA is now a Consultation Draft, which accompanies this VDS (Consultation Draft).

## CONSULTATION

This Village Design Statement (Consultation Draft) and its separate accompanying Sustainability Appraisal (Consultation Draft) are being placed before Planning Committee on 26th of September 2007 and Strategy Group on 11th of October 2007.

Consultation will take place on these documents for a period of 6 weeks until 7th of December 2007. The consultation is in accordance with the Council's Statement of Community Involvement. A final draft of both documents will then return to these committees on 30th of January 2008 and 14th February 2008 respectively, with the VDS being considered for adoption as a Supplementary Planning Document by Full Council on 28th of February 2008. Once adopted, this VDS will be used in conjunction with other planning policies and guidance documents to identify in greater detail the design criteria against which proposals will be judged.

Any comments on this Consultation Draft shall be made in writing addressed to Karen Britton, Senior Planning Officer, Daventry District Council, Lodge Road, Daventry, Northamptonshire, NN11 4FP or e-mail [kbritton@daventrydc.gov.uk](mailto:kbritton@daventrydc.gov.uk) by 4.30pm on Friday 7th of December 2007 at the latest.

## PLEASE NOTE:

Any comments received after the closing time/date cannot be accepted under the Planning and Compulsory Purchase Act 2004.

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## 5. HISTORY OF NASEBY

The village's earliest known origins date back to the sixth century Anglo Saxon times and probably owes its commanding position on high ground as a defence in the turbulent times of early Britain.

By the time of the Domesday Book in 1086 the village was known as Navesberie and later Navesby and Natesby. Granted its Market Charter in 1203 by King John (a monument stands at the top of Gynwell to commemorate this event). It became a thriving market place for many years with a steady expansion of the population and much of the land under plough.

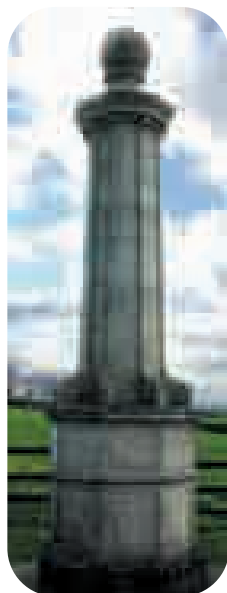
In 1349 the Black Death took its toll on the village and the population was diminished with some areas of the village being abandoned. There is evidence that the village itself moved northwards from Nutcote. Several fields, south and west of Nutcote and Church Street, show a number of small lanes and the outlines of buildings, which formerly existed.

Acreage of the parish after Domesday was approximately 3000 acres held by the monks from Sulby Abbey. With the dissolution of the monasteries during the reign of Henry 8th their lands passed into the hands of various landowners. In the seventeenth century (1645) the decisive engagement of the Civil War "The Battle of Naseby" resulting in defeat for King Charles 1 was fought north of the village and is commemorated by two monuments.

The most prominent was built by the Fitzgerald family in 1823 on the site of a windmill. Known as the "obelisk" it is not thought to be on the site of the battlefield. The other monument on the Sibbertoft Road

is now dissected from the village by the A14 and was presented to the village in 1936 by Mr C H Reich who was a member of London's prominent Cromwellian Society.

The oldest surviving house in the village, Reservoir Farm, is thought to have been built in the 17th Century. It is situated behind the Royal Oak pub and is one of only a few houses remaining in the village built of Northampton Ironstone.



**Battle of Naseby Monument**

During the 18th century the village continued as a quiet agricultural community with the villages' Georgian buildings being built – Manor Farm (1720); Shuckburgh House (rebuilt 1773) and the Vicarage (1785).

In the 19th century (1818) Naseby Hall was built by John and Mary Frances Fitzgerald who, although having commissioned the construction, did not find it to their taste and never lived there. Before the enclosures in 1822 there were no farmhouses outside the village – this changed with the land being allocated to three landowners: the Church; John Fitzgerald and John Maddocks. They set about equipping the land and segregating it into small holdings for tenant farmers with their own houses and buildings.

The Fitzgerald's also donated the land for the Chapel in 1825 and built the school in 1843. The style of these two buildings was carefully emulated from 1870 onwards when Viscount Clifden (who purchased the Fitzgerald's estate) set about replacing the old cob walled houses his estate workers were living in at the time.

These Victorian semi-detached and terraced red brick houses were constructed from local bricks made at Clot Hill brickyard on the junction of the Sibbertoft and Welford Roads and help create the unique character of the village we know today.

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Two original cob walled houses remain, Catton Cottage and Cromwell Cottage (1630). Two cob barns remain, one converted to a house (May Tree Cottage) with the other (which now has planning approval for conversion to a house), situated in the grounds of Manor Farm.



**Cromwell Cottage ca 1630**

“The Lion” war memorial occupies the green at the top of School Lane and is a direct copy of Sir Edward Landseer’s four lions at the foot of Nelson’s column in Trafalgar Square, London. It was commissioned in 1918 to honour the men of Naseby who gave their lives in the Great War.

The two village pubs, The Fitzgerald Arms and The Royal Oak were both built to provide sanctuary to the men folk from the working estates. The former replaced the Bell Inn which was demolished in the 1850’s. The latter replaced the previous cob walled pub in 1936.



**The Fitzgerald Arms**

## 6. SETTING WITHIN THE LANDSCAPE AND IMPORTANT VIEWS

The Northants Uplands extend from the Cotswolds and the Cherwell valley in the southwest to the low ground of the Leicestershire Vales around Market Harborough. In the Central Section, where it rises to the high points of Arbury Hill, Charwelton Hill and Naseby it has a rolling, gently hilly landform with long, level views criss-crossed by a regular pattern of hedgerows with frequent ash trees. These and the small but very frequent, copses give many areas a well-treed character which has been lost on some of the more fertile ground.

Within this setting, situated 13 miles from Northampton, lies the very small rural community of Naseby (with circa 521 inhabitants recorded in the 2001 census).

The area is underlain by the intractable clays of the Lias, capped locally by the ironstone-bearing Marlstone and Northampton Sands and with a thick mantle of boulder clay (glacial till) in many areas: all of the sharper features have been smoothed away by a long process of denudation. The Uplands are the ‘main watershed of Middle England’.

Naseby is one of the highest settlements in the county at 675 feet above sea level. At the southern end of the parish, the River Cherwell arises near Charwelton and flows southwards. The Warwickshire Avon rises on the eastern edge at Naseby in the grounds of Manor Farm (and is commemorated with an iron fountain) and runs westward out of the village. The River Nene’s Brampton tributary rises near the site of a windmill, which once stood on the Thornby Road, and runs south towards Northampton. The north-eastwards flowing River Welland rises near the Naseby/Sibbertoft boundary. The tributaries of the Tove and Ouse, which originate in the south-eastern flanks of the village, flow south-eastwards. A tributary of

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the Ise arises in the far north east of the parish.

## The key characteristics of the Northamptonshire Uplands are:

- *Rounded, undulating hills with many long, low ridgeline*
- *Abundant and prominent ridge and furrow fields with frequent deserted and shrunken settlements*
- *Sparse settlement of nucleated villages on hilltops or valley heads*
- *Mixed farming; open arable contrasts with pasture enclosed by good hedges with frequent hedgerow trees*
- *Wide views from the edges and across the ridge tops*
- *Straight, wide enclosure roads, often following ridges*
- *Little woodland, but prominent coverts on higher ground*
- *Ironstone and limestone older buildings with a transition across the area. Brick buildings in some villages*
- *Great variety of landform with distinctive local features like the Hemplow Hills*

These natural characteristics and features are all prominently displayed within the parish. Of particular note are the rolling panoramic views out of and into the village from the higher vantage points afforded by the Cold Ashby, Thornby, Cottesbrooke, Haselbech, Welford and Sibbertoft approach roads - see Map 4 Special Panoramic Landscape Areas & Parish Boundary on pages 31/32. Within the Parish confines the spire of All Saints' Church can be clearly seen by all - see Landscapes & Views within Naseby Parish page 30 (bottom photo).

The view and street scene from the high ground near the junction of Nutcote, Calendar Lane and the High Street takes in one of the two surviving thatched cob cottages and the rows of distinctive red-brick Victorian cottages. The views along Church Street offer a reminder of Naseby's Georgian



**Source of the River Avon in the garden of Manor Farm**

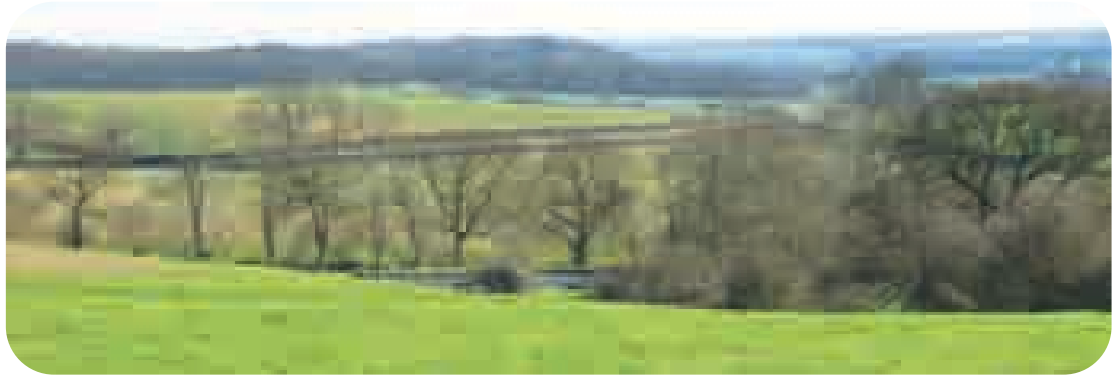
past. At the intersection of School Lane and the High Street, the Victorian buildings provide a glimpse back in time to the Old Village Hub of Saddle Shop, Primary School, Village Reading Room, Cromwell Library, Butchers shop, and Bakery- see Map 3 - Important Street Scenes & Views within Village page 29.

## LOCAL WILDLIFE

The Thornby Road and Carvells Lane provide the easiest and safest access to enjoy the natural beauty of the countryside and glimpse the local farm animals and wildlife. This includes a wide variety of birds both large (Buzzards, Hawks, Game birds, and Wildfowl) and small (Finches, Tits, Robins and Wrens) and the occasional sightings of Badgers, Bats, Hares, Foxes, and Muntjac. The Parish Council and all the villagers fully support the protection and enhancement of wildlife and habitats interests by seeking strict adherence from developers to the VDS guidance.

It is vital for the village to maintain the existing open village greenspace and wildlife habitats and complement this with the creation for new wildlife habitats within the Parish. Within existing farmland and garden areas, farmers and villagers are encouraged to create habitats, such as ponds (particularly adjacent to hedgerows), plant hedges and trees; provide more nesting sites and artificial nest boxes etc. Developers will be required to provide new habitats and this shall be evidenced through an Environmental Statement which shall form part of the Applicant's Design Statement and include written confirmation that developments will not have any negative impact on existing wildlife or habitats. Where any negative impact is expected on a development site re- wildlife or habitats, this shall be mitigated against, for example by the re-location of wildlife or creation of an equivalent sized/quality off site habitat to the satisfaction of the Parish Council and Local Planning Authority.

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*Panoramic view from Welford Road*

## **GUIDELINES – LANDSCAPE/ ENVIRONMENT/ECOLOGY (LE)**

1. It is vital that the panoramic views with their natural beauty are retained and not encroached upon. The distant views into, out of and within the village contribute significantly to its character and setting (See Map 2 - Special Village Views From Existing Main Built-Up Area page 28 for important view locations, and Map 4 - Special Panoramic Landscape Areas & Parish Boundary page 31 and 32).
2. Any proposed development on the village approaches shall be sympathetically incorporated into the landscape. This shall be achieved by the use of attractive designs using appropriate high quality materials with extensive use of native tree (Ash, Elm, and English Oak), hedgerow planting and provision of green areas to break up and soften the built form.
3. Any proposals for prominently located mobile masts or similar high level structures, that would have any significant impact on the village's surrounding landscape and views, will be subject to rigorous consideration.
4. Field boundaries of hedgerows should be retained and additional native hedge-laying (Blackthorn, Hawthorn, Hazel, Holly, and Field Maple) is encouraged because they are important visually and ecologically as a habitat for wild flora and fauna.
5. The retention and management of existing hedgerow ditches is encouraged.
6. The contribution of ridge and furrow fields to ecological interest, cultural/historical resource and enjoyment shall be taken fully into account when considering development proposals.
7. Within the village confines, mature trees not subject to preservation orders should be retained wherever possible and developers shall in all cases incorporate high quality landscaping into their plans to enhance the green infrastructure.
8. Developers shall incorporate high quality landscaping in to their plans.
9. Developers will be required through their Environmental Statement to provide written confirmation that development will not have any negative impact on existing wildlife or habitats.
10. Developers are required to provide new wildlife habitats within their designs (refer to Northamptonshire Biodiversity Action Plan).
11. Developers are required, as much as is practical, to leave any existing wild and untended green areas, hedges and trees to protect and support wildlife.
12. Developers should include the use of Sustainable Drainage Systems

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(SuDS) on sites, which act to attenuate surface water issues and create wildlife habitats.

13. At least 50% of any new landscaping schemes should comprise of drought resistant species to address the effects of future climate change.
14. The A14 major east/west route has increased air pollution (subject to wind direction) and noise levels. Any future resurfacing should mitigate against this by the use of noise reduction asphalt. Any road re-design/widening proposals should be subject to full local public consultation.

## VILLAGE PREFERENCES

1. The village would like consideration to be given as to whether any special landscape designations can be applied to the areas within the Naseby Parish but outside the village confines. As part of this proposal the village would also like to see whether any wildlife sites and habitats can also be designated. See Map 4 - Special Panoramic Landscape Areas & Parish Boundary items A1-10 on pages 31 & 32.
2. The village fully supports the phased introduction (3 or 4 phases are envisaged) of the Naseby Battle Site Project by the Battlefield Trust. Detailed plans for Phase 1 have been approved to provide viewing platforms and information plaques. These will provide opportunities for tourists and local people to increase their awareness and appreciation of both the historic environment and the wider ecological resource and landscape.
3. The village fully supports the principle of previously developed land and buildings being usefully and sympathetically converted to appropriate business or light industrial use with due regard to current planning policies.
4. An ever increasing number of residential planning proposals, some which include extensive demolition and subsequent

site cramming, are felt to represent the greatest threat to the village character and its green space. Therefore it is requested that all Victorian/Georgian buildings are conserved and that the re-development of existing sites is carefully considered against conservation criteria which might be clearly defined in future planning policies.

5. The A14 represents the greatest threat to air quality and noise levels. The village would like to see regular measurements made close to the village by The Highways Agency (for noise) and continuation of monitoring by Daventry District Council (for air quality) to ensure that any degradation is closely monitored.
6. The village fully supports the provision of additional bus and taxi-bus services.

## 7. SETTLEMENT PATTERN CHARACTER

### SOCIAL SETTLEMENT

The main focal points of the village are:

- *The well-attended Primary School*
- *The newly built village hall which together with the adjacent recreation ground provide both indoor and outdoor sporting/recreational facilities for all ages*
- *The two churches, Methodist and Church of England with a range of faith-linked groups*



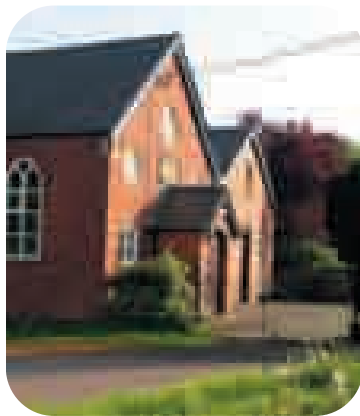
**Social focal point  
Naseby Village School ca 1843**

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- *The two public houses*
- *The social organisations, clubs (circa 30) covering a very wide range of activities and interests*

The Parish Council and Village Hall Committee monitor the facilities provided within the Village Hall and associated grounds. A new hard-surfaced area for Tennis, Five-a-side football etc. is planned for late 2007. Provision of additional facilities e.g. cycle track and nature walk will be considered in future years.

Limited public transport is currently provided. Better bus services for the young and older residents would be welcomed. The effect of additional development on the primary school capacity, health and social services is of growing concern within the village.



**Social focal point - Methodist Chapel ca 1825**



**Social focal point - Naseby Village Hall**

## GUIDELINES – SOCIAL (SO)

1. The village fully supports the provision of additional sports/recreational facilities within the Village Hall and grounds subject to local planning policies.
2. Should any significant development of 4 or more dwellings be proposed, the capabilities and capacities of local educational, health and other key social services should be taken fully into account and highlighted in the Design Statement to accompany the Planning Application.

## ECONOMIC SETTLEMENT

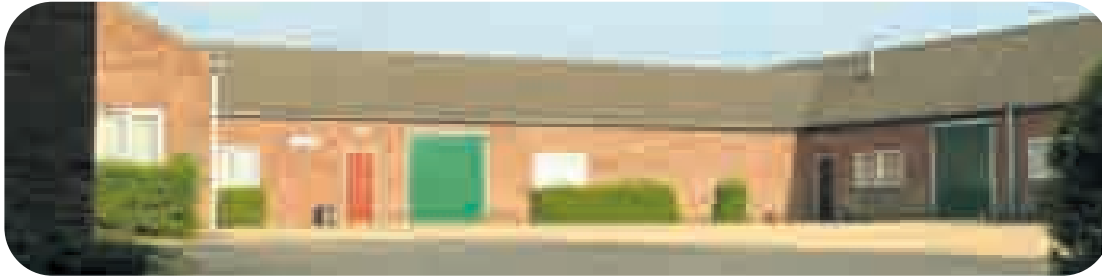
There are a number of diverse businesses in the parish. Towards the south end there are light industrial workshops and a Car showroom and garage. In the centre of the village some fine buildings of conservation value have been sympathetically adapted for reuse as a new Naseby Business Centre, housing a number of private businesses and an art gallery. There are also, two public houses and a recently opened Village shop. By the very nature of its rural setting the parish contains a number of working farms (primarily arable) and equestrian/stabling facilities.

However, the majority of the working population are employed beyond the village boundaries. Partly as a result of a limited public transport network most households, by necessity have at least two cars.

## GUIDELINES - ECONOMIC (EC)

1. Residential developments should extend the economic status of the village by incorporating office, small scale workshop premises or shops provided this does not adversely affect the amenity of residents and are compatible with planning policies.
2. Previously developed land and buildings of conservation value should be usefully and sympathetically

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**Existing economic focal point - Industrial Units in High Street are functional but do not blend well with adjacent historic buildings/street scenes (See Guideline-Economic (EC) No.3)**

converted to appropriate business or light industrial use with due regard to current planning policies.

3. Should new commercial development take place, the buildings should be of high quality, sympathetic with local building styles, of low visual impact and sites should be enhanced by the planting of native trees, hedgerows and shrubs.

## PHYSICAL SETTLEMENT

The parish is bordered by the A5199 and bisected by the A14 running from east to west.

The village settlement itself is centrally situated within the parish. Very little of the settlement can be seen except for the spire of All Saints Church which is clearly visible when approaching from all directions.



**A major focal point from the approach roads and within and outwith the village  
All Saints Church ca 1232**

The village is compact in layout and has developed rapidly over the past few years. Since 1969 development has included considerable amounts of infill within the village streets but the main concentration of new property has focussed on five new larger scale developments set out in cul-de-sacs; Fairfax Rise; Bakehouse Rise; Knights Hill; Hall Close and Catton Close.

These developments have led to a mosaic of buildings in relation to age, size and style. However, the Parish Plan consultation results highlighted that many villagers feel that these numerous new cul-de-sacs may also compromise community safety and social interaction. Recently, 3 adjacent homes in one of these cul-de-sac developments suffered attempted or actual burglary on consecutive nights. The Parish Council works closely with the local Police Authority and the Neighbourhood Watch team to mitigate against these concerns by providing expert advice/information and additional police patrols when resources are available.



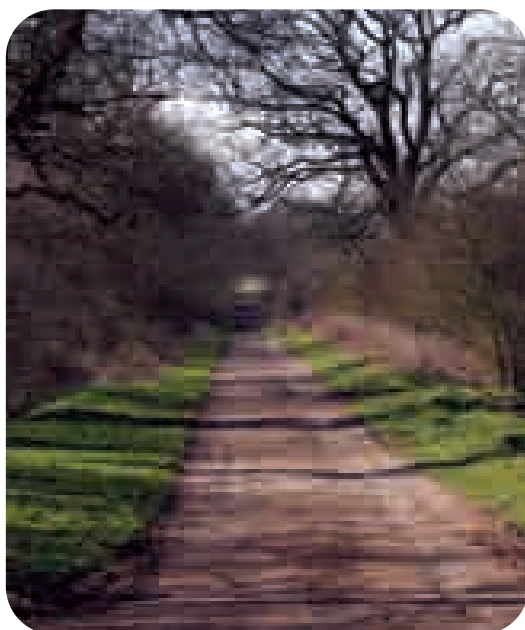
**Existing economic focal point - Business Centre in School Lane/High Street blends well with adjacent historic buildings/street scenes**

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Major local concern has also been caused by some recently approved development. The village felt that these were out of scale and detracted from the village character and openness, due to cramming and a poor choice of design and materials.



**Greenspace triangle opposite the Fitzgerald Arms**



**Carvells Lane Bridle Path**

On a positive note, the village has a number of important public green areas which add considerable value to the village's openness and visual character, being:

- *The allotments situated behind properties on the High Street*
- *The recreation ground*
- *The churchyard*
- *The school playing field*
- *The two public pathways originating from the High Street and leading to the Village recreation grounds to the north and the Cottesbrooke road to the south*

Additionally at many road junctions there are small triangles of green space, two of which include the remnants of the old market cross and the war memorial.

Naseby also contains a number of important publicly visible but privately owned spaces. These may be large gardens, grazing fields or paddocks that are part of, or immediately adjacent to domestic or other properties. Locations of important open space are identified - see Map 1 - Important Items & Open Spaces page 27.

## **GUIDELINES - DEVELOPMENT (DV)**

1. Development layouts should be designed to be integrated into the existing road network avoiding the use of cul-de-sacs to ensure social inclusion and improved community safety. Developers are also advised to refer to the SPG Planning Out Crime in Northamptonshire (NCC, February 2004)
2. All important views in to, out of and within the village should be protected - see Map 2 - Special Village Views From Existing Main Built-Up Area page 28 and also Map 3 - Important Street Scenes & Views within Village page 29
3. Naseby's key open spaces both public and private are very important to the visual quality of the village and should be preserved - see Map 1 -

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Important Items & Open Spaces  
page 27

4. Any proposed development within close proximity to historic monuments (e.g. Market Cross, War Memorial) should not detract in any way from their distinctive setting - see Map 1 - Important Items & Open Spaces page 27
5. Any proposed new development should clearly demonstrate that due consideration of the wider context of the site within the village fabric and framework has been undertaken. This should be evidenced by the provision of a Design Statement setting out how the proposal has incorporated the VDS guidelines and principles.



**Catton Cottage**  
*one of the two remaining "cob" cottages*

including a 17th century stone farm, two thatched 17th century 'cob' cottages, and several 18th Georgian stone buildings.

Major building development of the village commenced after the Enclosure Acts of 1822 when a large number of red-bricked, grey slate roofed semi-detached and terraced cottages were built for the farm/estate workers.

These small attractive Victorian cottages, most with large rear gardens are interspersed around the rectangle of streets that form the heart of the village and provide the distinctive built character of Naseby.

## 8. BUILDING MATERIALS AND DETAILS

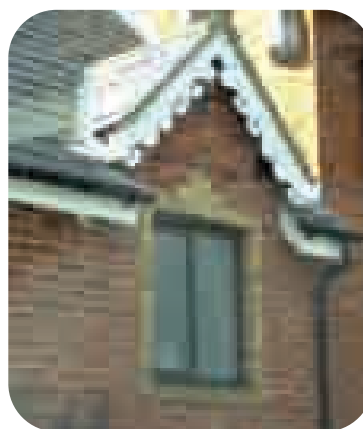
### VILLAGE CHARACTER

Undoubtedly Naseby's main focal point is All Saints Church; dating from 1232 it was built from local ironstone (a type of sandstone). The present tower and spire were added in the 19th century and at this time the predominant building material within the village started to change to the more freely available local redbrick.

The historic character of the village is provided by fine classic design examples



**Traditional Victorian cottages**



**Example of Victorian Fascia board and dormer window**

During the second half of the 20th century, the village has rapidly expanded via many small-scale modern developments of very large 4/5 bed-roomed family homes.



# Naseby Village Design Statement

Quantity per acre rather than maintenance of character/ village design has resulted in a growing imbalance between old and new. Fragmented 'executive' styles and designs found nationwide and of current architectural fashion are diluting the impact of the older part of the villages character.

Although beneficial in some ways the village feel that Naseby's 'Restricted Infill Village' development status has resulted in the loss of much of the village open/green space and large gardens, thereby creating a more cramped/urban look and feel.

In recent years the situation has worsened because of a propensity for creating high-density cul-de-sacs off the main streets isolating the new residents and further detracting from the village character.

The villagers fully support Green Infrastructure principles to create a network of green spaces and are encouraged by the work currently being undertaken at local and district levels.

The village also fully supports the optimum use of available land and buildings; however they would prefer that this goal is achieved via increased use of innovative design and new building methods to create free-flowing spaces between buildings providing the privacy and quiet of a rural setting.

The village would also like to see increased use of natural/renewable materials like thatch, timber eaves and window frames, and sheepswool for insulation.

## GUIDELINES – DESIGN & MATERIALS (DM)

1. The materials used in new development should reflect the colours, textures, patterns and features of the older buildings. (See Village Design Details 1- 20 Pages 21 and 22).
2. Developers are encouraged to use natural/renewable materials such as

thatch, timber eaves and window frames, and sheepswool for insulation.

3. The use of fascia boards and guttering must be carefully considered to blend in with adjoining properties.
4. New development must fit in well to the adjacent street scene and re-introduce local features (see Village Design Details page 21 and 22)
5. Any new development sited on the edge of the village should be properly integrated into the village by incorporating safe footpath routes and green areas linking from the old to the new areas.
6. Developers are required to provide a net gain in Green Infrastructure within their proposal(s)
7. New developments should avoid Standardised designs; Layouts and styles that reflect the distinctive building features of the village should be adopted. This does not preclude the use of both an innovative design and a creative approach, which will be considered (see Village Design Details page 21 and 22).
8. Extensions and redevelopment of existing properties should blend in well by the use of previously used materials and designs.

## HEIGHT, SCALE AND DENSITY

Generally the older areas of the village have been developed with due regard to the gradients and form of the streets.

Although very varied in design all development is of moderate proportion being 1; 1.5 up to 2 storey high and built in a way that prevents one building type dominating its neighbours.

It is important that the existing character of the village is maintained by constraining new development to a 2.5 storey maximum.

The wide street frontages are interspersed with large side gardens providing breaks in

# Naseby Village Design Statement

the building line with little sense of urban enclosure.

## Density

Continued low density development is essential to preserve the character of the village.

Only two of the original thatched cottages, which contribute greatly to the village character, remain. However, proving what can be achieved with modern design and materials, two large modern thatched homes have been built in the High Street, they are very welcome additions.

## GUIDELINES – HEIGHT, SCALE & DENSITY (HD)

1. New housing on rising ground must not over-dominate its neighbours, nor detract from village views. (see Map 3 Important Street Scenes & Views Within Village page 29)
2. New developments shall reflect local development footprints and avoid over massing of the site.
3. No new development above 2.5 storeys in height shall be permitted.
4. Redevelopment within existing curtilage/boundaries should preserve the green space between the main buildings and any other supplementary/ detached structures.

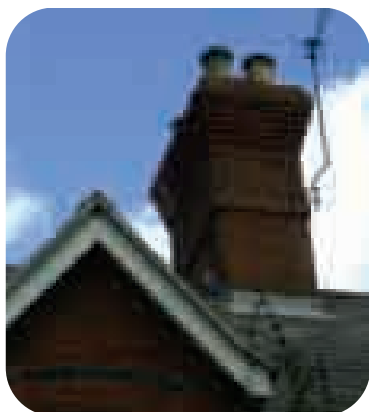
## GUIDELINES – ROOFS & CHIMNEYS (RF)

1. Roofs of new developments should complement the older village buildings and be constructed with pitched (less than 50 degrees) and gable roofs with dark slate or dark red tile finish.
2. All new homes should be designed with chimneys incorporated into gable end walls with features similar to that of the older properties.

## ROOFS AND CHIMNEYS

Most older properties have pitched roofs of less than 50 degrees, slated with gable ends.

Chimneys are usually sited at the gable ends with the chimneystack decorated with bands of red brick and topped with several round red clay pots.



**A traditional Chimney Stack**

## DOORS

There are a variety of different styles of doors and windows throughout the village.

The majority of doors are set into the building with only a small rebate. The older properties' doors are usually of a solid type and some have simple canopy porches, which mimic the main roof construction.

More modern properties do not reflect these desirable design features. Many have a fanlight set above or into the plastic doors and incorporate adjoining glass-panelled areas.

## WINDOWS

The predominant window design is rebated multi-paned sash or casement. Lintels and sills of the red brick built cottages are constructed of either 2 or 3-course blue or yellow brick, some with further intricate detailing.

Several have 4/5-course arches or stone mullions. Without doubt these are classic design features in the village, which should

# Naseby Village Design Statement



**Modern design of window without rebating that does not blend well with older properties**

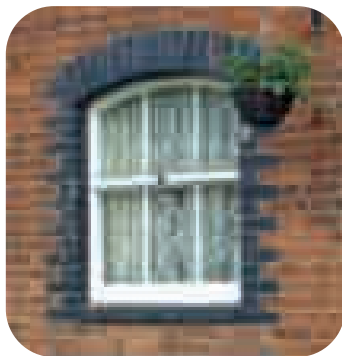


**Example of rebated traditional windows**

be preserved and reflected in future developments.

In contrast, the recent designs for windows and doors of the modern developments in Hall Close and Knights Hill have been flush fitted white plastic. This design/material should be avoided in future. However, if traditional wooden design/materials are used in preference to pvc/plastic, then durability, maintainability and insulation factors must at least match those of pvc

Where Dormer windows are fitted to the frontage of the character buildings they are usually small, ridged and hipped into the pitched roofing or sit close to the eaves with the bottom of the window interrupting the guttering.



**Example of traditional windows**

## GUIDELINES - WINDOWS & DOORS (WD)

1. Windows should be of a size, proportion and style sympathetic with the older properties within the village. If larger windows are proposed, they should be confined to the rear elevations to maintain the streetscape.
2. Dormer/Bay windows should usually be small, ridged and hipped into the pitched roofing or sit close to the eaves with the bottom of the window interrupting the guttering. Where ever possible they should be restricted to rear elevations.
3. Doorways should be of a size and style that will sit well with the design of the adjacent properties.
4. Porches should be constructed to a simple canopy design and reflect the pitch of the roofing

# Naseby Village Design Statement

## BOUNDARIES

Almost every village home currently has a front garden of varying size. The majority have a form of roadside boundary, wall, hedge or fence supplemented with extensive planting. The High Street, Newlands and Church Street are good examples of this aspect. In the main this has helped to blend the various house types and designs together.

The larger Georgian and Victorian homes are set well back from the street line and behind high boundaries. This has proved to be a very successful approach to balance the larger with the surrounding smaller properties.

In contrast, more recent developments in the main have included very small open plan gardens fronting large, 2.5/3 storey dwellings. This layout style is felt by the village to be less successful in balancing the larger with the smaller properties.

As a consequence the character of the streetscape is weakened.

### GUIDELINES – BOUNDARIES (BD)

1. For new developments, open plan front gardens are not acceptable.
2. High quality boundary treatment incorporating walls, hedges or fences must form a key component of the overall design of new developments or extensions to existing properties. As a minimum simple picket fencing should be used
3. Existing boundary features must be preserved whenever possible. New developments should aim to retain, repair or improve upon any existing boundaries.
4. New boundaries should be constructed to harmonise with adjacent properties with due attention to materials used, height and style.
5. New hedges should be planted with native species.

## ENERGY EFFICIENCY/WATER USAGE/WASTE EFFICIENCY

### Energy Efficiency

In addition to the use of highly energy efficient building materials, the village would like developers to include proposals which reduce energy demand, enhance energy efficiency, and where practical, include renewable energy generation. This would include increased use of natural light and solar gain via improved positioning and site layouts and greater consideration of thermal capacity factors.

### Climate Change

Clearly, due to the effects of global climate change, both now and in the future, developer's designs, site layout and infrastructure, must be assessed and adequate provision made to mitigate against this. Current recommendations from the Environment Agency to mitigate against flood risk etc. are to include additional allowances to planning estimates.

Developers are also required to specify within their Design Statement how they have included design to cope with more extreme climatic events, incorporating robust and weather resistant built forms, and the use of permeable paving, etc.

### Water Usage/Management

The Parish Council and local agencies have addressed the local flooding issues within the village. However, developers are required, at the early planning stages, to ensure that all water management and flooding requirements advice by the Environment Agency and Anglian Water Ltd., are fully taken into account. If development includes previously contaminated land, written confirmation will be required by the Local Planning Authority that effective decontamination/mitigation measures have been taken.

It is also felt that water usage should be improved via the provision of water efficient

A banner image showing a street scene in Naseby village with buildings, trees, and a yellow excavator.

# Naseby Village Design Statement

appliances; AA rated white goods and the use of low flush WC systems. The provision of water butts for rainwater collection, and outside space and ground sockets for rotary air driers is also encouraged.

Clearly, benefits would accrue by the increased use of drought resistant plant, shrub, and tree species and therefore these should be included in landscaping schemes.

## Waste Efficiency/Management

To reduce waste landfill, developers should incorporate on-site sorting methods and reuse any building materials. Site designs should also maximise the use of existing land forms and gradients and minimise site excavation. Where excavation is necessary the excavated material should be redistributed within the site, wherever possible or re-use locally.

Sustainable construction techniques are encouraged.

With regard to waste collection and recycling it is agreed that much more should be designed-in by developers to encourage residents to reduce, re-use or recycle. Site layout designs should cater adequately for communal or private wheelie-bin/kerbside box storage areas. These areas should be screened and located to facilitate ease of access for residents and collection agencies.

All access pathways should be a minimum width of 1 metre wide for private storage areas and 1.5 metre wide for communal storage areas. Sufficient ground space should also be provided for composting bins.

Kitchen designs should incorporate split waste bins with a minimum of 4 recycling compartments.

## EFFICIENCY & WATER USAGE (EW):

1. Developers shall include proposals which reduce energy demand and enhance energy efficiency in their designs. This should include increased use of natural light and solar gain via improved positioning and site layouts and greater consideration of thermal capacity factors.
2. Developers shall ensure that all water management and anti-flooding requirements advised by the Environment Agency are strictly adhered to. Early liaison between parties is encouraged to ensure surface water attenuation and flood risk principles are understood and consequently ground and surface water is managed to maximise resources.
3. Developers are required to demonstrate in their Design Statement that Climate Change allowances have been made. This will include design, site layout and infrastructure to cater for more extreme climatic events, incorporating robust and weather resistant built forms, such as the use of permeable paving.
4. Developers should improve water/energy usage via the use of water efficient appliances; AA rated white goods, low flush WC systems, and the provision of water butts for each new dwelling for rainwater collection. Provision of outside space and ground sockets for rotary air driers is also encouraged.
5. Developers should liaise with Anglian Water Ltd. and then demonstrate that the sewerage and sewage disposal systems serving their developments have sufficient capacity and are not liable to cause pollution or flooding
6. Developers should confirm in their Design Statement that liaison with the Environment Agency to assess flood risk has been initiated at the earliest

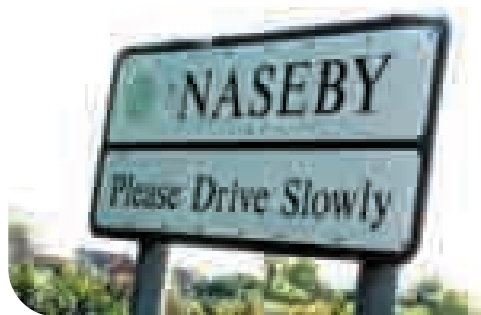
# Naseby Village Design Statement

planning stage.

7. Developers in their garden designs or landscaping schemes should include at least 50% Drought resistant plant, shrub, and tree species. Where raised planters or similar heavy irrigation dependant systems are included e. g. for at-level gardens, at least 90% drought resistant species should be used.
8. Developers should reduce waste landfill, where-ever possible by incorporating on-site sorting methods and reuse of any building materials available on-site. Sustainable construction techniques are encouraged.
9. Developers should ensure that Site designs maximise the use of existing land forms and gradients and minimise site excavation.
10. Developers should ensure that site layout plans cater adequately for screened, communal or private wheelie-bin/kerbside box storage areas. These areas should facilitate ease of access for residents and collection agencies. All access pathways should be a minimum width of 1 metre wide for private storage areas and 1.5 metres wide for communal areas.
11. Developers should ensure that site plans provide sufficient ground space for composting bins.
12. Developers should ensure that Kitchen designs incorporate split waste bins with a minimum of 4 recycling compartments.

## HIGHWAYS AND TRAFFIC

The recent Parish Plan questionnaire highlighted that the speed and volumes of traffic, coupled with unavoidable on-street parking, were a major concern of the majority of residents. This situation is before the Parish Council and options currently being considered include 'Entrance Gateways', safer road markings and extended speed restrictions.



## PARKING

Many older homes throughout the village have no off-street parking facilities. Whilst the consequent unavoidable on-street parking may have a calming effect, increased on-street parking on the narrow village streets is likely to have an adverse effect on road safety.

Therefore it is essential that any new developments will in all cases be required to provide adequate off-street parking facilities.

# Naseby Village Design Statement

## LIGHTING

Rural-style, low level street lighting is provided throughout the majority of the village streets. Recent developments such as Catton Close have seen the introduction of large concrete splays of high visibility urban style lighting.

This trend should be vigorously resisted in the future and more sympathetic solutions are required.

### GUIDELINES – TRAFFIC & PARKING & LIGHTING (TL)

1. All new road/street layouts and designs should improve traffic management, restrict the speed and flow of traffic through the approaches to and centre of the village.
2. Any new developments must include adequate provision for off-road parking in line with current parking policy.
3. New Street lighting should be of a design that minimises light pollution and that links sympathetically with the existing lighting fitted in the older areas of the village.
4. Developers shall ensure that all external lighting, particularly security equipment, is designed to minimise light pollution.

## PAVEMENTS AND VERGES

Attractive granite sets are used throughout the main village streets; pavements are generally on one side only with grass verges provided on the other side.

In contrast, recently the provision of adequate pavements and verges with the use of traditional materials has been compromised. The village believe this is on purely cost grounds by developers and NCC Highways (e.g. at Knights Hill the new granite sets provided by the developer were

rejected by Highways and replaced with new concrete kerb stones.

Meanwhile, no pavement was provided by the developer at the entrance to Hall Close.

The village would like to see developers and highways bodies incorporating roadside materials that will sympathetically link the new developed areas with the older areas of the village to preserve the local character.

## ROAD SIGNS AND STREET NAMES

Over a period of time all of the traditional village signs have been/are being replaced with the modern metal signage typically seen in major towns and cities.

No real attention or consideration seems to have been taken for their appropriate siting e.g. multiple metal signs are now located on the triangle greens at Carvells Lane and outside the Fitzgerald Arms.

There are also no 'Historic Village' or 'Battle Site' signs of any great quality or impact. Given Naseby's increasing national/worldwide historic profile and appearances on television programmes, consideration should be given to re-site and improve village signage.

## STREET FURNITURE

The Parish Council have been very successful in promoting a minimalist, uncluttered street scene.

The recently installed village notice board is of high quality and is well placed at the heart of the village.





# Naseby Village Design Statement

A number of strategically placed litter/doggy bins and benches have also been provided which blend in well with their surroundings.

## **TELEGRAPH POLES**

Telegraph poles festooned with many layers of overhead electricity and telephone cables line all the main streets of the village.

The cables, cross-connection joints and ironmongery detract greatly from the character of the buildings and degrade the quality of the street scene.

This issue will obviously take many years to change but the village wish to encourage the statutory bodies responsible to use every future opportunity to conceal cables underground.

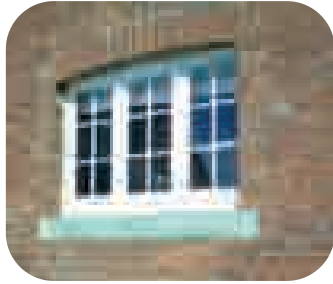
## **GUIDELINES – ROAD SIGNAGE & STREET FURNITURE (RS)**

1. Unattractive, inappropriate street signs should be replaced
2. The style, frequency and siting of new signpost and street signs should sympathetically link with the older signage
3. New and replacement benches, litter/doggy bins should be appropriately designed and sited.
4. The remaining green verges and triangles must be kept clear of any additional street furniture.
5. Every opportunity should be taken to ensure electricity and telephone cables are routed as unobtrusively as possible, ideally underground.

# Naseby Village Design Statement

## VILLAGE DESIGN DETAILS

The following photographs have been included as excellent examples of materials, features and designs that should be incorporated into new developments in preference to more modern options.



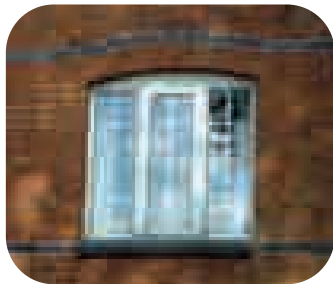
**1. Rebated Victorian Sash Window**



**2. Typical Victorian Eaves and Wall Design**



**3. Rebated Victorian Dormer Window**



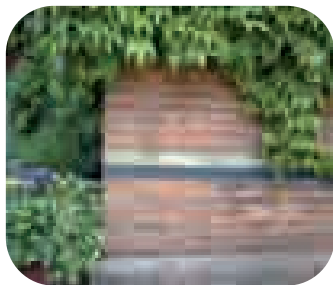
**4. Victorian Blue facing brick detailing**



**5. Victorian Blue Brick Window detailing and Lintel**



**6. Victorian Yellow brick Window detailing and Lintel**



**7. Typical Victorian wall design preferred approach**



**8. Standard red Victorian facing bricks**



**9. Special design red Victorian bricks**



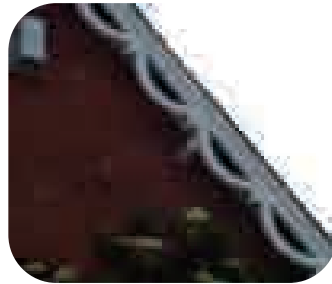
**10. Victorian Cottages**

Redeveloped and extended using matching design, colour, and materials for the Eaves, Windows, Lintels, Porch, Roof Pitch and Red Tiles

# Naseby Village Design Statement

## VILLAGE DESIGN DETAILS

The following photographs have been included as good examples of how modern designs can blend in well within the village by incorporating the features/designs/materials from the older properties



## STREET SIGNAGE



19. Inappropriate Standard Street Sign



20. Preferred Street Sign

A banner image showing a street scene in Naseby village with buildings, trees, and a yellow excavator.

# Naseby Village Design Statement

## QUICK REFERENCE GUIDELINES

### LANDSCAPE/ENVIRONMENT/ECOLOGY (LE)

1. It is vital that the panoramic views with their natural beauty are retained and not encroached upon. The distant views into, out of and within the village contribute significantly to its character and setting (See Map 2 - Special Village Views From Existing Main Built-Up Area page 28 for important view locations, and Map 4 - Special Panoramic Landscape Areas & Parish Boundary page 31 and 32).
2. Any proposed development on the village approaches shall be sympathetically incorporated into the landscape. This shall be achieved by the use of attractive designs using appropriate high quality materials with extensive use of native tree (Ash, Elm, and English Oak), hedgerow planting and provision of green areas to break up and soften the built form.
3. Any proposals for prominently located mobile masts or similar high level structures, that would have any significant impact on the village's surrounding landscape and views, will be subject to rigorous consideration.
4. Field boundaries of hedgerows should be retained and additional native hedge-laying (Blackthorn, Hawthorn, Hazel, Holly, and Field Maple) is encouraged because they are important visually and ecologically as a habitat for wild flora and fauna.
5. The retention and management of existing hedgerow ditches is encouraged.
6. The contribution of ridge and furrow fields to ecological interest, cultural/historical resource and enjoyment shall be taken fully into account when considering development proposals.
7. Within the village confines, mature trees not subject to preservation orders should be retained wherever possible and developers shall in all cases incorporate high quality landscaping into their plans to enhance the green infrastructure.
8. Developers shall incorporate high quality landscaping in to their plans.
9. Developers will be required through their Environmental Statement to provide written confirmation that development will not have any negative impact on existing wildlife or habitats.
10. Developers are required to provide new wildlife habitats within their designs (refer to Northamptonshire Biodiversity Action Plan).
11. Developers are required, as much as is practical, to leave any existing wild and untended green areas, hedges and trees to protect and support wildlife.
12. Developers should include the use of Sustainable Drainage Systems (SuDS) on sites, which act to attenuate surface water issues and create wildlife habitats.
13. At least 50% of any new landscaping schemes should comprise of drought resistant species to address the effects of future climate change.
14. The A14 major east/west route has increased air pollution (subject to wind direction) and noise levels. Any future resurfacing should mitigate against this by the use of noise reduction asphalt. Any road re-design/widening proposals should be subject to full local public consultation.

### SOCIAL (SO)

1. The village fully supports the provision of additional sports/recreational facilities within the Village Hall and grounds subject to local planning policies.
2. Should any significant development of 4 or more dwellings be proposed, the capabilities and capacities of local educational, health and other key social services should be taken fully into account and highlighted in the Design Statement to accompany the Planning Application.



# Naseby Village Design Statement

## QUICK REFERENCE GUIDELINES

### ECONOMIC (EC)

1. Residential developments should extend the economic status of the village by incorporating office, small scale workshop premises or shops provided this does not adversely affect the amenity of residents and are compatible with planning policies.
2. Previously developed land and buildings of conservation value should be usefully and sympathetically converted to appropriate business or light industrial use with due regard to current planning policies.
3. Should new commercial development take place, the buildings should be of high quality, sympathetic with local building styles, of low visual impact and sites should be enhanced by the planting of native trees, hedgerows and shrubs.

### DEVELOPMENT (DV)

1. Development layouts should be designed to be integrated into the existing road network avoiding the use of cul-de-sacs to ensure social inclusion and improved community safety. Developers are also advised to refer to the SPG Planning Out Crime in Northamptonshire (NCC, February 2004)
2. All important views in to, out of and within the village should be protected - see Map 2 - Special Village Views From Existing Main Built-Up Area page 28 and also Map 3 - Important Street Scenes & Views within Village page 29
3. Naseby's key open spaces both public and private are very important to the visual quality of the village and should be preserved - see Map 1 - Important Items & Open Spaces page 27
4. Any proposed development within close proximity to historic monuments (e.g. Market Cross, War Memorial) should not detract in any way from their distinctive setting - see Map 1 - Important Items & Open Spaces page 27
5. Any proposed new development should clearly demonstrate that due consideration of the wider context of the site within the village fabric and framework has been undertaken. This should be evidenced by the provision of a Design Statement setting out how the proposal has incorporated the VDS guidelines and principles.

### DESIGN & MATERIALS (DM)

1. The materials used in new development should reflect the colours, textures, patterns and features of the older buildings. (See Village Design Details 1- 20 Pages 21 and 22).
2. Developers are encouraged to use natural/renewable materials such as thatch, timber eaves and window frames, and sheepswool for insulation.
3. The use of fascia boards and guttering must be carefully considered to blend in with adjoining properties.
4. New development must fit in well to the adjacent street scene and re-introduce local features (see Village Design Details page 21 and 22)
5. Any new development sited on the edge of the village should be properly integrated into the village by incorporating safe footpath routes and green areas linking from the old to the new areas.
6. Developers are required to provide a net gain in Green Infrastructure within their proposal(s)
7. New developments should avoid Standardised designs; Layouts and styles that reflect the distinctive building features of the village should be adopted. This does not preclude the use of both an innovative design and a creative approach, which will be considered (see Village Design Details page 21 and 22).
8. Extensions and redevelopment of existing properties should blend in well by the use of previously used materials and designs.

A banner image showing a street scene in Naseby village with traditional buildings and a yellow excavator in the foreground.

# Naseby Village Design Statement

## QUICK REFERENCE GUIDELINES

### HEIGHT, SCALE & DENSITY (HD)

1. New housing on rising ground must not over-dominate its neighbours, nor detract from village views. (see Map 3 Important Street Scenes & Views Within Village page 29)
2. New developments shall reflect local development footprints and avoid over massing of the site.
3. No new development above 2.5 storeys in height shall be permitted.
4. Redevelopment within existing curtilage/boundaries should preserve the green space between the main buildings and any other supplementary/ detached structures.

### GUIDELINES – ROOFS & CHIMNEYS (RF)

1. Roofs of new developments should complement the older village buildings and be constructed with pitched (less than 50 degrees) and gable roofs with dark slate or dark red tile finish.
2. All new homes should be designed with chimneys incorporated into gable end walls with features similar to that of the older properties.

### GUIDELINES - WINDOWS & DOORS (WD)

1. Windows should be of a size, proportion and style sympathetic with the older properties within the village. If larger windows are proposed, they should be confined to the rear elevations to maintain the streetscape.
2. Dormer/Bay windows should usually be small, ridged and hipped into the pitched roofing or sit close to the eaves with the bottom of the window interrupting the guttering. Where ever possible they should be restricted to rear elevations.
3. Doorways should be of a size and style that will sit well with the design of the adjacent properties.
4. Porches should be constructed to a simple canopy design and reflect the pitch of the roofing

### GUIDELINES – BOUNDARIES (BD)

1. For new developments, open plan front gardens are not acceptable.
2. High quality boundary treatment incorporating walls, hedges or fences must form a key component of the overall design of new developments or extensions to existing properties. As a minimum simple picket fencing should be used
3. Existing boundary features must be preserved whenever possible. New developments should aim to retain, repair or improve upon any existing boundaries.
4. New boundaries should be constructed to harmonise with adjacent properties with due attention to materials used, height and style.
5. New hedges should be planted with native species.

### EFFICIENCY & WATER USAGE (EW):

1. Developers shall include proposals which reduce energy demand and enhance energy efficiency in their designs. This should include increased use of natural light and solar gain via improved positioning and site layouts and greater consideration of thermal capacity factors.
2. Developers shall ensure that all water management and anti-flooding requirements advised by the Environment Agency are strictly adhered to. Early liaison between parties is encouraged to ensure surface water attenuation and flood risk principles are understood and consequently ground and surface water is managed to maximise resources.
3. Developers are required to demonstrate in their Design Statement that Climate Change allowances have been made. This will include design, site layout and infrastructure to cater for more extreme climatic events, incorporating robust and weather resistant built forms, such as the use of permeable paving.

A banner image showing a village street scene with buildings, trees, and a yellow tractor. The text 'Naseby Village Design Statement' is overlaid in white.

# Naseby Village Design Statement

## QUICK REFERENCE GUIDELINES

4. Developers should improve water/energy usage via the use of water efficient appliances; AA rated white goods, low flush WC systems, and the provision of water butts for each new dwelling for rainwater collection. Provision of outside space and ground sockets for rotary air driers is also encouraged.
5. Developers should liaise with Anglian Water Ltd. and then demonstrate that the sewerage and sewage disposal systems serving their developments have sufficient capacity and are not liable to cause pollution or flooding
6. Developers should confirm in their Design Statement that liaison with the Environment Agency to assess flood risk has been initiated at the earliest planning stage.
7. Developers in their garden designs or landscaping schemes should include at least 50% Drought resistant plant, shrub, and tree species. Where raised planters or similar heavy irrigation dependant systems are included e. g. for at-level gardens, at least 90% drought resistant species should be used.
8. Developers should reduce waste landfill, where-ever possible by incorporating on-site sorting methods and reuse of any building materials available on-site. Sustainable construction techniques are encouraged.
9. Developers should ensure that Site designs maximise the use of existing land forms and gradients and minimise site excavation.
10. Developers should ensure that site layout plans cater adequately for screened, communal or private wheelie-bin/kerbside box storage areas. These areas should facilitate ease of access for residents and collection agencies. All access pathways should be a minimum width of 1 metre wide for private storage areas and 1.5 metres wide for communal areas.
11. Developers should ensure that site plans provide sufficient ground space for composting bins.
12. Developers should ensure that Kitchen designs incorporate split waste bins with a minimum of 4 recycling compartments.

## GUIDELINES – TRAFFIC & PARKING & LIGHTING (TL)

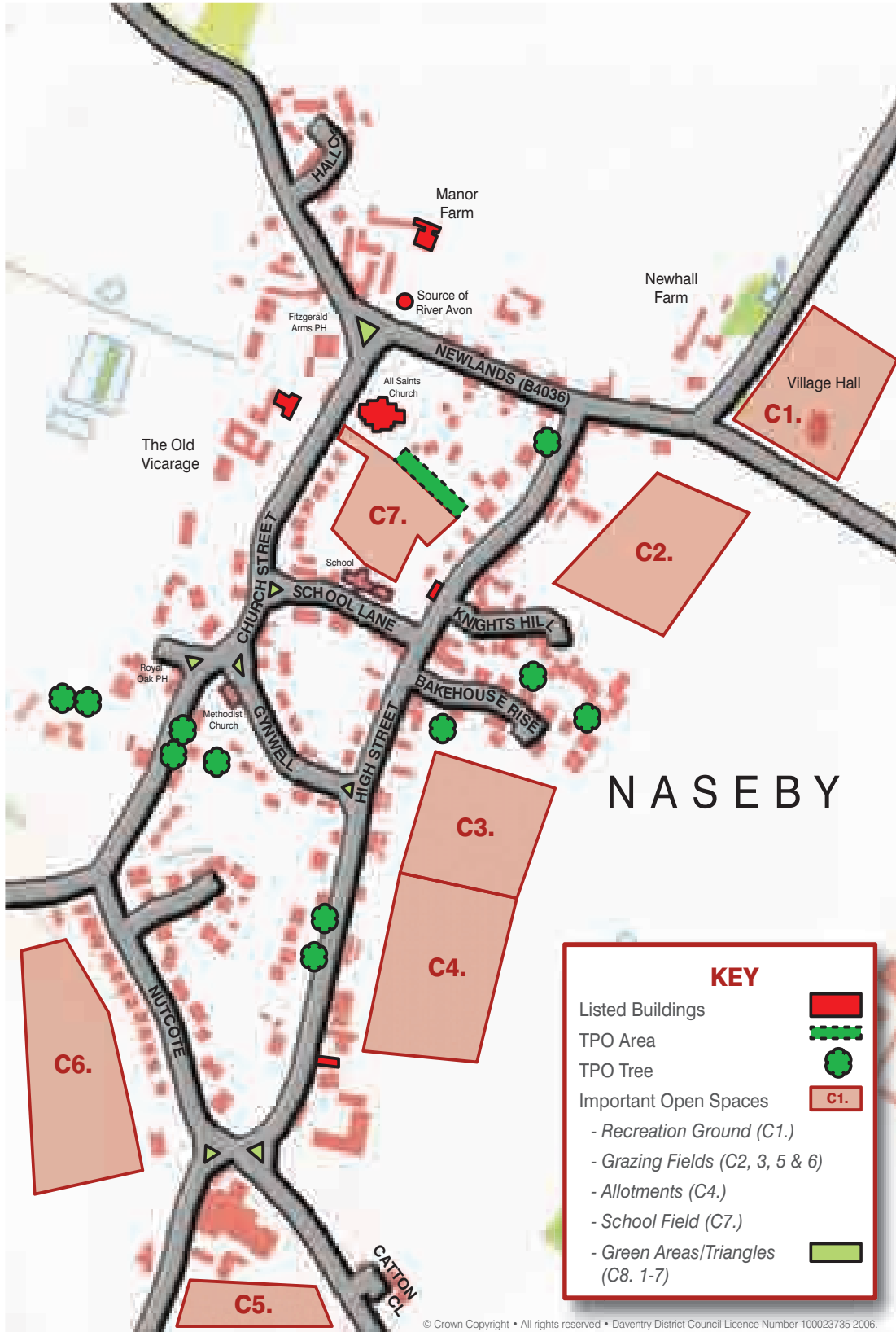
1. All new road/street layouts and designs should improve traffic management, restrict the speed and flow of traffic through the approaches to and centre of the village.
2. Any new developments must include adequate provision for off-road parking in line with current parking policy.
3. New Street lighting should be of a design that minimises light pollution and that links sympathetically with the existing lighting fitted in the older areas of the village.
4. Developers shall ensure that all external lighting, particularly security equipment, is designed to minimise light pollution.

## GUIDELINES – ROAD SIGNAGE & STREET FURNITURE (RS)

1. Unattractive, inappropriate street signs should be replaced
2. The style, frequency and siting of new signpost and street signs should sympathetically link with the older signage
3. New and replacement benches, litter/doggy bins should be appropriately designed and sited.
4. The remaining green verges and triangles must be kept clear of any additional street furniture.
5. Every opportunity should be taken to ensure electricity and telephone cables are routed as unobtrusively as possible, ideally underground.

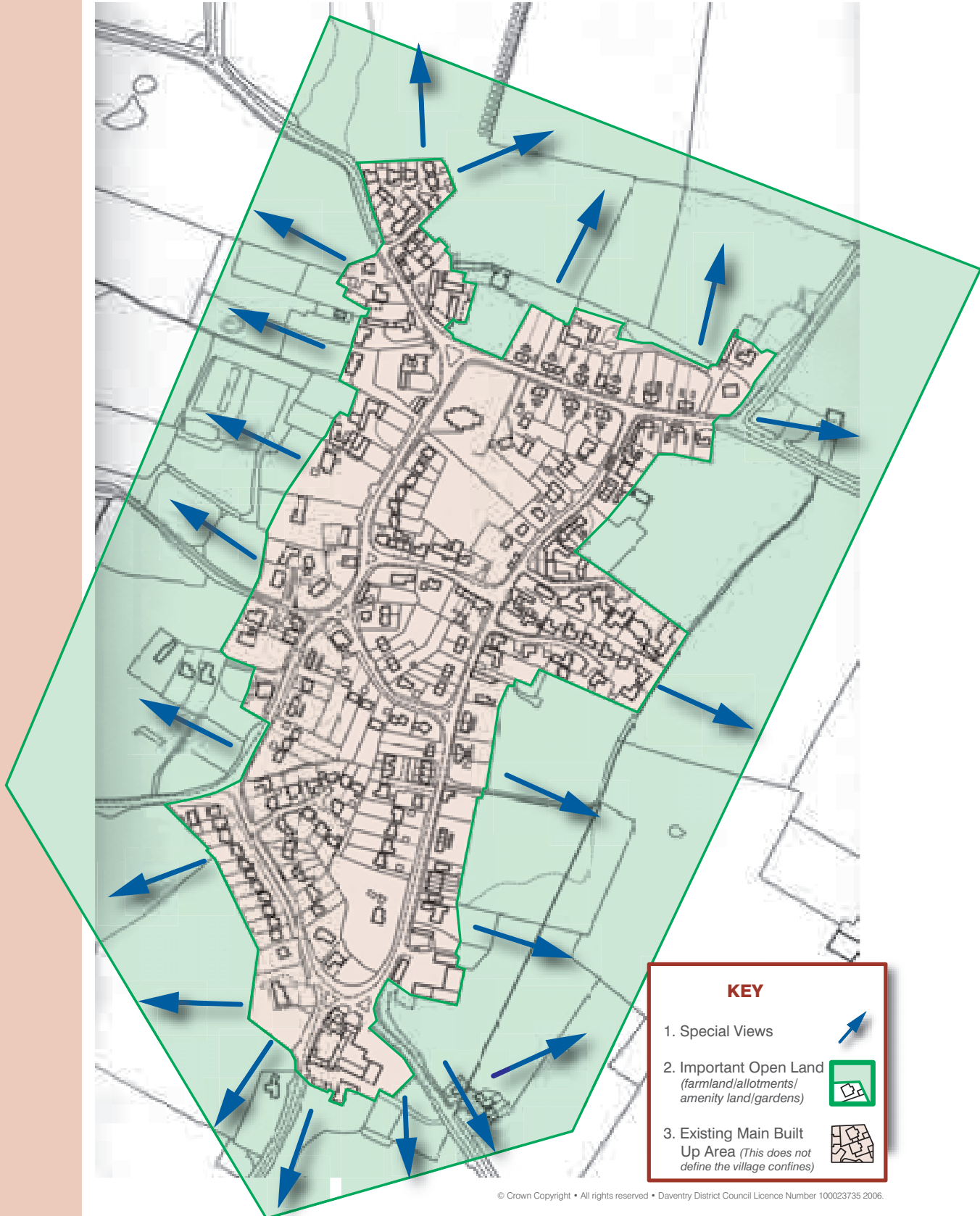
# Naseby Village Design Statement

## MAP 1 - IMPORTANT ITEMS & OPEN SPACES



# Naseby Village Design Statement

MAP 2 - SPECIAL VILLAGE VIEWS FROM EXISTING MAIN BUILT-UP AREA



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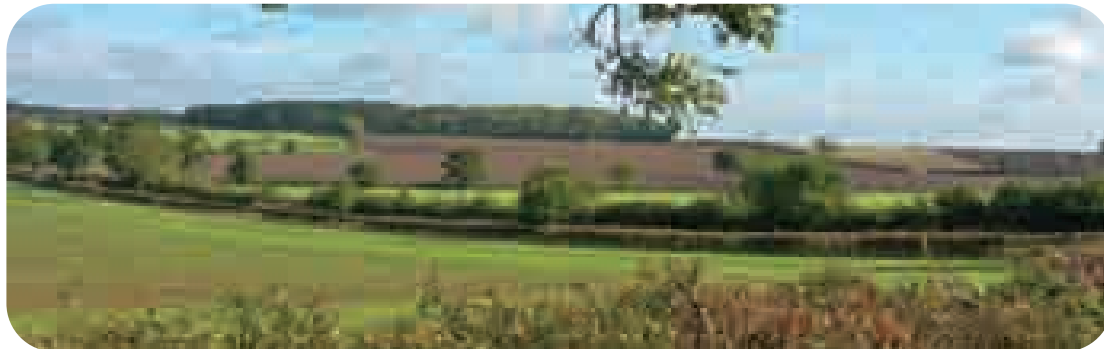
# Naseby Village Design Statement

MAP 3 - IMPORTANT STREET SCENES & VIEWS WITHIN VILLAGE

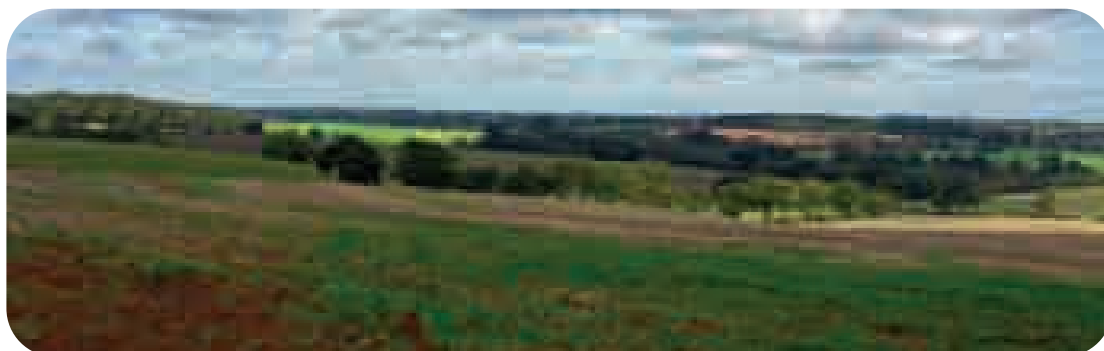


# Naseby Village Design Statement

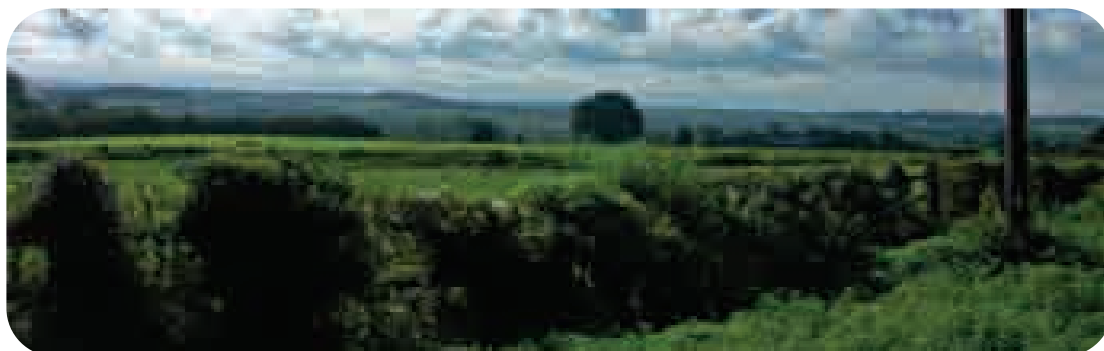
## LANDSCAPES & VIEWS WITHIN NASEBY PARISH



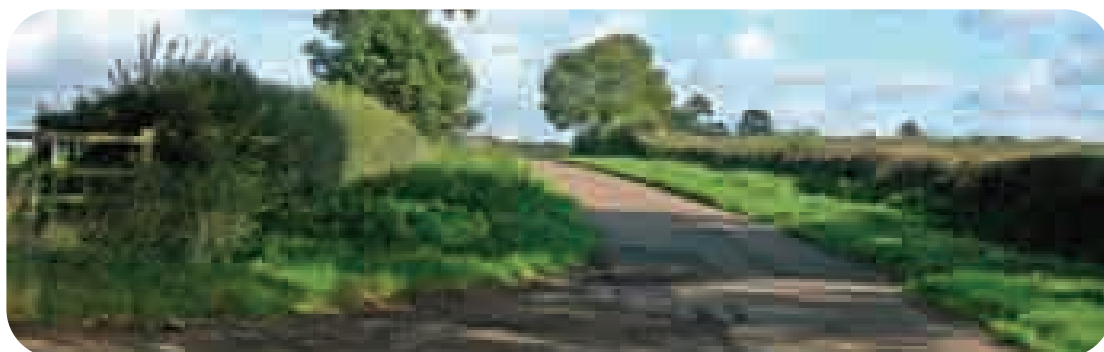
*Naseby Field - Battle of Naseby 1645 - View from the Sibbertoft Road*



*View towards Welford from Clipston Road*



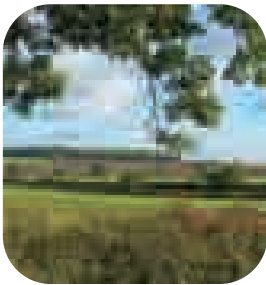
*View towards Cottesbrooke from the Thornby Road*



*View towards Naseby Village from the Thornby Road*

# Naseby Village D

## MAP 4 - SPECIAL PANORAMIC LAND



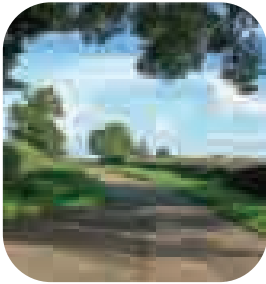
*Naseby Field - Battle of Naseby 1645 - View from the Sibbertoft Road*



*View towards Naseby Village from the Welford Road*



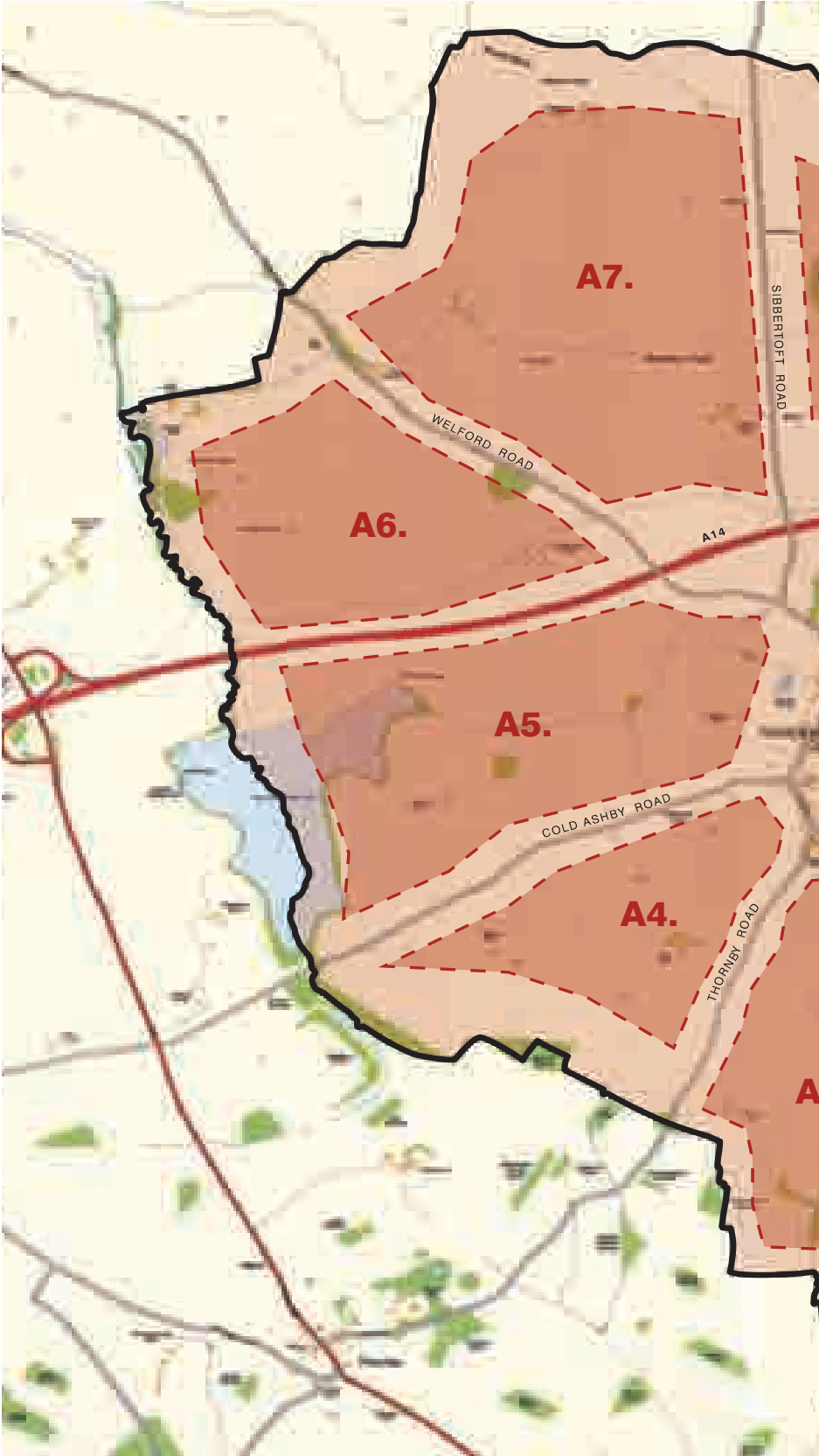
*View towards Naseby Village from the Thornby Road*



*View towards Naseby Village from the Thornby Road*



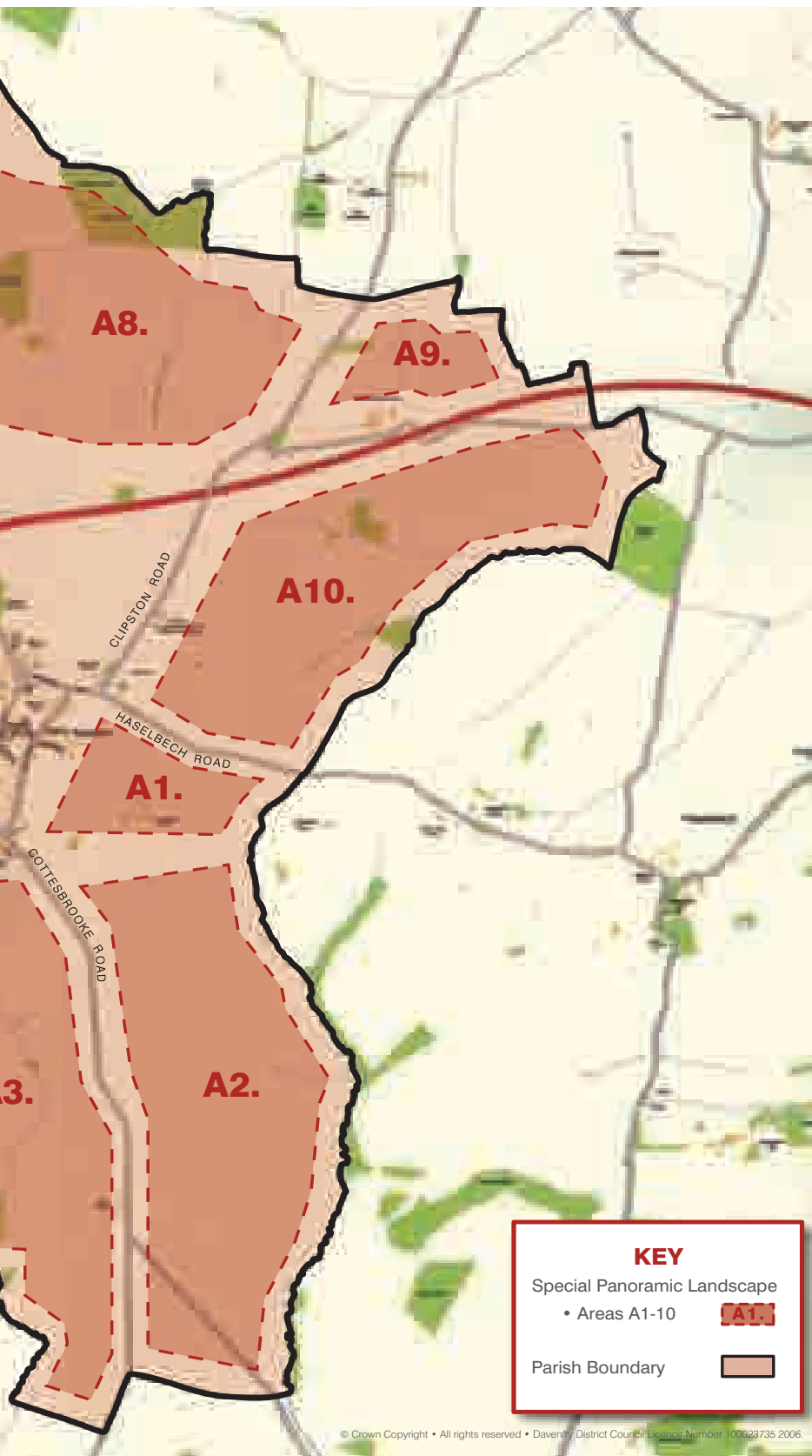
*View towards Cottesbrooke from the Thornby Road*



**Please Note:** Village colloquial road names have been used in this map and associated photographs to accentuate the landscape. The road which leads to Cottesbrooke is not "The Cottesbrooke Road"

# esign Statement

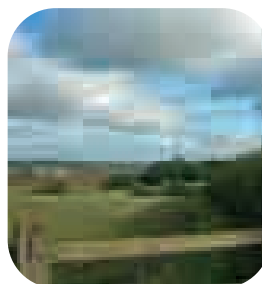
## SCAPE AREAS & PARISH BOUNDARY



*View from the Sibbertoft Road towards Naseby*



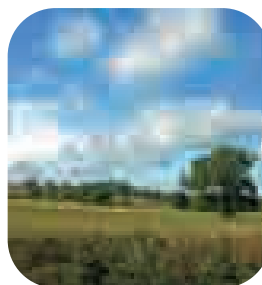
*View towards Welford from the Clipston Road*



*View towards East Farndon from the Clipston Road*



*View towards Naseby Village from the Clipston Road*



*View from the Cottesbrooke Road towards Naseby*

how the villagers describe these important views with one another i.e. Callendar Lane is the official name of the road

CONSULTATION  
DRAFT



# NASEBY

## Village Design Statement

### CREDITS AND ACKNOWLEDGMENTS

Naseby Parish Council  
All Residents of Naseby

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Karen Britton, Senior Planning Officer, Daventry District Council  
Strategic Environmental Assessment Bodies  
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English Heritage  
Environment Agency

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Naseby Parish Plan Steering Group

#### Photography

Amanda Green, Paul Kelly, Tom Westaway

#### OS Maps

Supplied by Daventry District Council  
Redesign/Additional Details by Amanda Green